



BOARD OF ZONING APPEALS
REGULAR MEETING
AGENDA

May 4, 2023
6:00 PM

Council Chambers, Rocky Mount Municipal Building
345 Donald Avenue, Rocky Mount, Virginia

Call to Order and Welcome

1. Roll Call of Members Present
2. Approval of Agenda
3. Review and Consideration of Minutes
 - 3.a. April 6, 2023 - Regular Meeting Minutes
4. Public Hearing
 - 4.a. The applicant, Floyd Ave Developers LLC, has applied for a variance for Franklin County Tax Map and Parcel Number 2070055000, a vacant lot located on the corner of West Court Street and Floyd Avenue in the Central Business District. The applicant requests a variance of Article 7-2-7 of the Zoning Ordinance which requires all non-residential driveways and parking spaces to be paved with asphalt, concrete, plant mix or brick. The applicant wishes to construct a gravel parking lot on the corner of West Court Street and Floyd Avenue to serve as additional parking for downtown Rocky Mount.
 - Staff Comments
 - Applicant Comments
 - Public Comments
5. New Business-None at this time
6. Board Concerns
7. Staff Updates
8. Adjournment

**TOWN OF ROCKY MOUNT
BOARD OF ZONING APPEALS
MEETING MINUTES
April 6, 2023
6:00 P.M.**

The Board of Zoning Appeals (BZA) of the Town of Rocky Mount, Virginia met at the Rocky Mount Municipal Building on Thursday, April 6, 2023 at 6:00 p.m., with Vice Chair Susan Hapgood calling the meeting to order.

ROLL CALL OF MEMBERS PRESENT

- Susan Hapgood, Chair
- Lucas Tuning, Vice Chair
- Jason Altice
- Bud Blanchard
- Lucy Goode

BOARD MEMBERS ABSENT:

- None

STAFF MEMBERS PRESENT

- Jessica Heckman, Zoning Administrator
- Cherie Compton, Board of Zoning Appeals Clerk
- John Boitnott, Town Attorney

APPROVAL OF AGENDA

Additions or Corrections: None

Motion: To approve the agenda as presented

Motion By: Vice Chair Lucas Tuning

Second By: Board Member Bud Blanchard

Action: Approved by a unanimous vote of members present

REVIEW AND CONSIDERATION OF MINUTES

Prior to the meeting, the Board received the following draft minutes for review and consideration of approval:

- March 2, 2023- Regular Meeting Minutes

Motion: To approve minutes as presented

Motion By: Member Bud Blanchard

Second by: Member Lucy Goode

Action: Approved by a unanimous vote of members present

PUBLIC HEARING:

The applicant, Fostering Champions Inc., has applied for a variance of Article 20-8-1 for Franklin County Tax Map and Parcel Number 2100011601, a parcel on Lawndale Street, Rocky Mount, Virginia, to allow a reduced side-yard setback. The applicant is building a single-family residence and is requesting a setback of 12 feet. The ordinance requires 15% of the lot width at the building line, which is approximately 20 feet.

Chair Susan Hapgood provided a review of the staff report. Zoning Administrator Jessica Heckman followed up and asked if members had any questions regarding the report. Hearing none, the applicant Bobby Canipe explained the project and the purpose of the building. Members asked about how many foster children would live in the home and for how long. Ms. Heckman reminded members the use is permitted and not in question at the hearing. Member Jason Altice asked if the applicant knew about the side yard setback before purchasing property applicant Bobby Canipe stated it was donated land.

Jason Divers, 100 Lawndale Street had concerns about the request and stated citizens had contacted him with concerns such as trees coverage, the proposed use, and the proximity of the new construction to other houses.

Ms. Heckman directed members to the survey, pointing out that there is an existing ten-foot alley between the subject property and the adjoining property. An open discussion ensued about the old alley and the branch.

Contractor Edward Cabell Gardner provided information regarding the placement of the house due to the branch going through the parcel. Mr. Gardner also answered questions about the trees, the natural springs, the size of the house and layout of home. An open discussion ensued.

Motion: To approve the request for the variance for Franklin County Tax Map and Parcel Number 2100011601, parcel located on Lawndale Street, Rocky Mount, Virginia to allow a reduced side-yard setback.

Motion By: Member Bud Blanchard

Second By: Vice Chair Lucas Tuning

Action: Approved by a unanimous vote

NEW BUSINESS

None at this time

BOARD CONCERNS

None at this time

STAFF UPDATES

None at this time

Hearing no further comments, Chair Susan Hapgood asked for a motion to adjourn.

ADJOURNMENT

Motion By: Vice Chair Lucas Tuning

Seconded By: Member Lucy Goode

Action: Adjourned by a unanimous vote of members present

Time: 6:31 p.m.

Vice Chair, Susan Hapgood

ATTEST:

Cherie Compton, Clerk

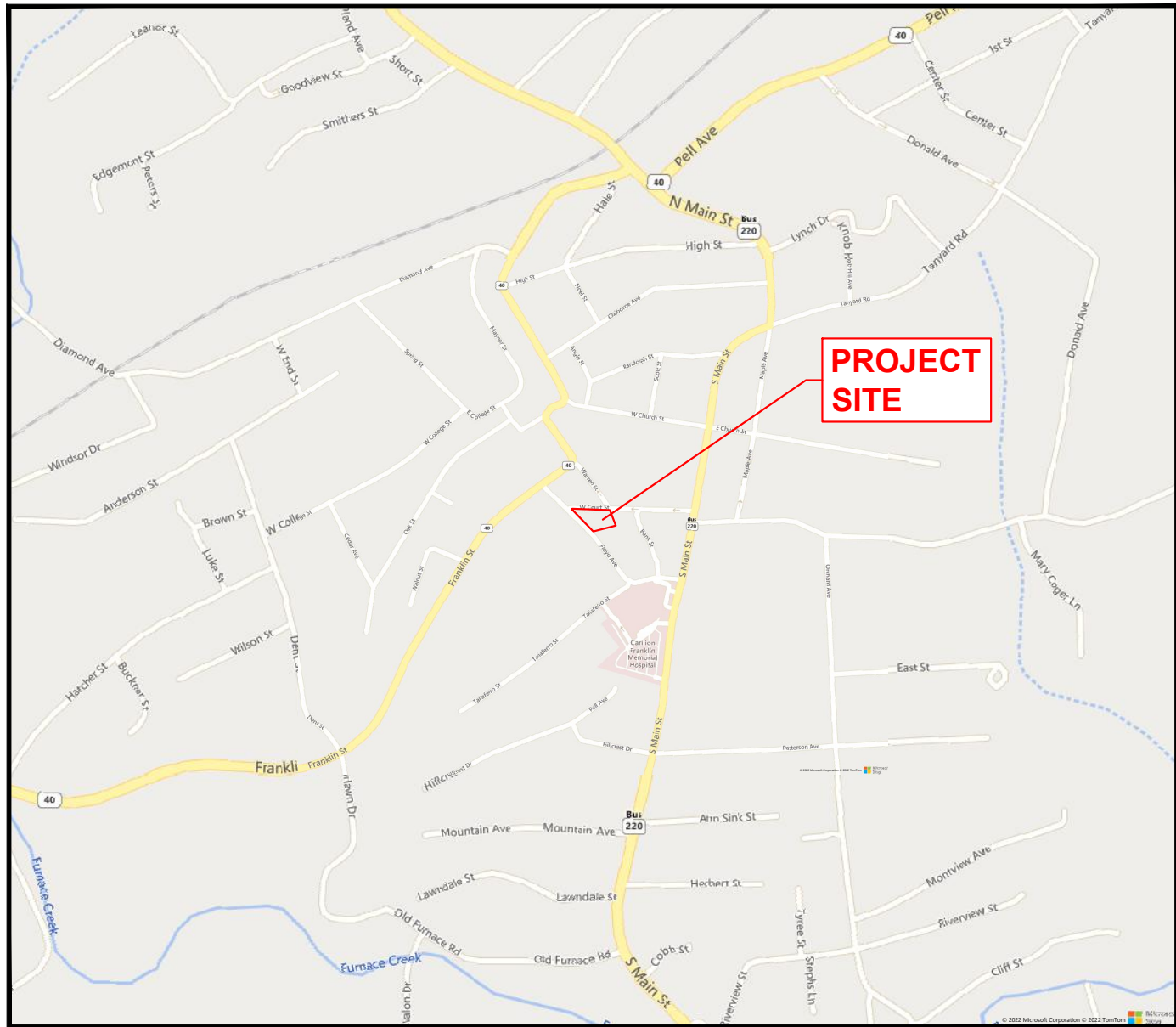
PARCEL ID:	2070055000
MAP NUMBER:	207.00
PARCEL NUMBER	550.00
OWNER	FLOYD AVE DEVELOPERS LLC
ZONING	CBD
USE	PARKING LOT
DISTRICT	TOWN OF ROCKY MOUNT
ACREAGE	0.53 ACRE
DEED BOOK/ PAGE	BOOK 1191/PG #2365
PLAT BOOK/ PAGE	N/A
MIN. ROAD FRONTAGE	50 FT
FRONT SETBACK	18 FT TRAVEL LANE
REAR YARD	25 FT
LANDSCAPING	ANY PARKING FACING THE ADJACENT ROADS MUST BE SCREENED BY FENCING OR BY LANDSCAPING

FRANKLIN COUNTY STANDARD NOTES:

1. FRANKLIN COUNTY CASE #.
2. THE FRANKLIN COUNTY DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT MUST BE NOTIFIED IN WRITING FIVE (5) BUSINESS DAYS PRIOR TO COMMENCING WITH CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. SEE THE SEQUENTIAL ORDER OF CONSTRUCTION FOR DETAILS. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED PLANS.
3. THE REGISTERED LAND DISTURBER (RLD) OR THEIR SITE REPRESENTATIVE WILL BE REQUIRED TO MAINTAIN AND UPDATE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS NECESSARY. THE SWPPP MUST REMAIN AVAILABLE FOR INSPECTION AT ALL TIMES.
4. THE FRANKLIN COUNTY DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT EROSION AND SEDIMENT CONTROL/STORMWATER MANAGEMENT (ESC-SWMM) SITE INSPECTOR MUST BE NOTIFIED IN WRITING FORTY-EIGHT (48) HOURS IN ADVANCE OF THE CONSTRUCTION OF ANY CRITICAL COMPONENTS OF ALL ESC-SWMM INSTALLATIONS. (AND NOTED DATES IN THE SWPPP).
5. FRANKLIN COUNTY DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT RESERVES THE RIGHT TO ALTER THESE PLANS, DURING THE CONSTRUCTION PHASE AND AS FIELD CONDITIONS MAY WARRANT. CHANGES TO THE CONSTRUCTION PLANS MUST HAVE FRANKLIN COUNTY APPROVAL PRIOR TO THE WORK BEING DONE (AND NOTED CHANGES/DATES WILL BE ADDED TO THE SWPPP).
6. APPROVAL OF THESE PLANS BY FRANKLIN COUNTY DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT IS NOT A REPRESENTATION, GUARANTEE OR WARRANTY OF ANY KIND AND SHALL CREATE NO LIABILITY UPON THE COUNTY, ITS OFFICIALS OR EMPLOYEES.
7. APPROVED PLANS REMAIN VALID FOR THE CURRENT 2014 VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY PERMIT CYCLE ONLY (5 YEAR PERMIT CYCLE).
8. WHEN AVAILABLE, THE AS-BUILT/RECORD PLAN SHALL BE PROVIDED TO THE FRANKLIN COUNTY DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT WITHIN SIXTY (60) DAYS AFTER COMPLETION OF CONSTRUCTION FOR APPROVAL. THE ESCO-SWMM SURETY (LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT) WILL NOT BE FULLY RELEASED UNTIL ALL ITEMS HAVE BEEN APPROVED AS CONSTRUCTED.



VICINITY MAP
1" = 500'



VICINITY MAP
1" = 1,000'

**Engineer/
Surveyor:** **Parker Design Group, Inc**
2122 Carolina Ave SW
Roanoke, VA 24014
PH: (540) 387-1153

Owner: FLOYD AVE DEVELOPERS LLC
305 S MAIN ST
ROCKY MOUNT, 24151

Sheet List Table	
Sheet Number	Sheet Title
C01	COVER, NOTES & DETAILS
C02	GENERAL NOTES
C03	E&SC NARRATIVE
C04	EXISTING CONDITIONS, DEMOLITION, & PHASE I E&SC PLAN
C05	LAYOUT & DIMENSIONAL PLAN
C06	GRADING & PHASE II PLAN
C07	SITE & E&SC DETAILS

	BUILDING		ADA PARKING SYMBOL
	BUILDING CANOPY/ OVERHEAD		SIGN - 1 POST
	CONCRETE SIDEWALK		SIGN - 2 POST
	ASPHALT - STANDARD		SIGN - 3 POST
	ASPHALT - HEAVY DUTY		CONCRETE WHEEL STOP
	CONCRETE PAVEMENT		BOLLARD
	RETAINING WALL		TRAFFIC ARROW
	CONTOUR - MINOR		PARKING COUNT
	CONTOUR - MAJOR		GENERIC WATER VALVE
	SPOT ELEVATION		WATER GATE VALVE
	LIMITS OF DISTURBANCE		WATER PIPE FITTINGS
	GENERIC FENCE LINE		WATER METER
	CHAIN LINK FENCE		WATER BLOW OFF VALVE
	WOOD PANEL FENCE		AIR RELEASE VALVE
	CURB AND GUTTER		YARD HYDRANT
	EDGE OF PAVEMENT		WATER MANHOLE
	ROAD CENTERLINE		STORM MANHOLE
	UNDERGROUND ELECTRIC		STORM INLETS
	UNDERGROUND TELECOM		CLEANOUT
	UNDERGROUND ELECTRIC/TELECOM		SANITARY MANHOLE
	CATV (CABLE)		STORM STRUCTURE KEY
	FIBER OPTICS LINE		SANITARY STRUCTURE KEY
	NATURAL GAS		
	WATER LINE		
	UTILITY EASEMENT		
	SANITARY SEWER PIPE		
	STORM SEWER PIPE		

SYMBOLS

9	AT	EXV.	ELEVATION	RD	ROOF DRAIN
0	CENTERLINE	EXIST.	EXISTING	REQ'D.	REQUIRED
1	PLATE	EXP.	EXPANSION	R/W	RIGHT-OF-WAY
2	DIAMETER	EW.	EACH WAY	SS	SANITARY SEWER
3	DEGREE	FC	FACE OF CURB	S	SQUARE FOOT (FEET)
4		FF	FINISHED FLOOR	ST	SPECIFICATION
5		FL	FLOW LINE	SPEC'S	SPECIFICATIONS
6	<u>ABBREVIATIONS</u>	FT	FOOT (FEET)	SQ.	SQUARE
7		GA	GAUGE	STM	STORM
8	AREA	GALV.	GALVANIZED	STD.	STANDARD
9	ACRE(S)	GS	GROUND SHOT	SW	SIDEWALK
0	BACK OF CURB	GV	GATE VALVE	SWM	STORM WATER MANAGEMENT
1	BUILDING	ID	INSIDE DIAMETER	SY	SQUARE YARD(S)
2	BOTTOM	INV.	INVERT	TD	TURNED DOWN CURB
3	BOTTOM OF STEP	JT.	JOINT	TEMP.	TEMPORARY
4	BOTTOM OF WALL	LB	LATERAL	TS.	TOP OF STEP
5	BW.	LFD	FOUND	TW.	TOP OF WALL
6	CURB FEET	LBS	POUNDS	TYP.	TYPICAL
7	CURB AND GUTTER	LF	LINEAR FOOT (FEET)	UNO	UNLESS NOTED OTHERWISE
8	C.I. CAST IRON	MAT.	MATERIAL	VAR.	VARIABLE
9	C.I. CAST IRON INLET	MAX.	MAXIMUM	VDOT	VIRGINIA DEPARTMENT OF
0	CAST IN PLACE	MFR.	MANUFACTURER		TRANSPORTATION
1	CONSTRUCTION JOINT	MH	MANHOLE	VESCH	VIRGINIA EROSION AND
2	CLEAR	MIN.	MINIMUM		SEDIMENT CONTROL HANDBOOK
3	CLEANOUT	M.J.	MANHOLES JOINED	WV	WATER VALVE
4	CONCRETE	O.C.	ON CENTER	WNF	WELDED WIRE FABRIC
5	CONTINUOUS	OD	OUTSIDE DIAMETER		
6	CUBIC YARD(S)	PB	PLAY BOOK		
7	C.B.				
8	DEED BOOK				

COUNTY APPROVALS

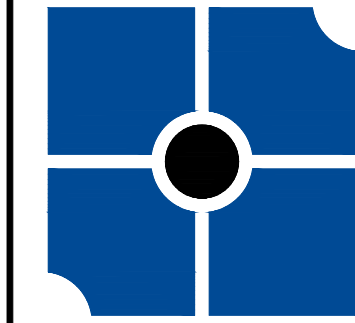


VIRGINIA LAW REQUIRES CONTRACTOR TO CONTACT MISS UTILITY (811) IN ADVANCE OF PLANNED WORK.

ADVANCE TIME PERIOD SHALL BE AT LEAST 48 HOURS (www.missutilityofvirginia.com).

CONTACT FRANKLIN COUNTY ENVIRONMENTAL REVIEWER, COUNTY CONSTRUCTION COORDINATOR, AND MISS UTILITY 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITY.

**PARKING LOT - COMPREHENSIVE PLAN
PREPARED FOR
ROCKY MOUNT BURGER COMPANY**
FLOYD AVENUE | TM#2070055000
ROCKY MOUNT, VIRGINIA



parker
DESIGN GROUP
ENGINEERS • SURVEYORS
PLANNERS • LANDSCAPE ARCHITECTS

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REVISIONS

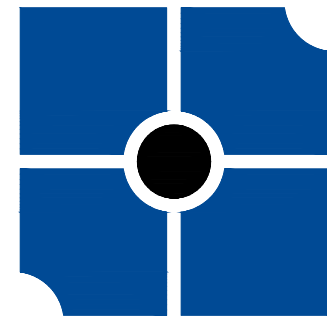
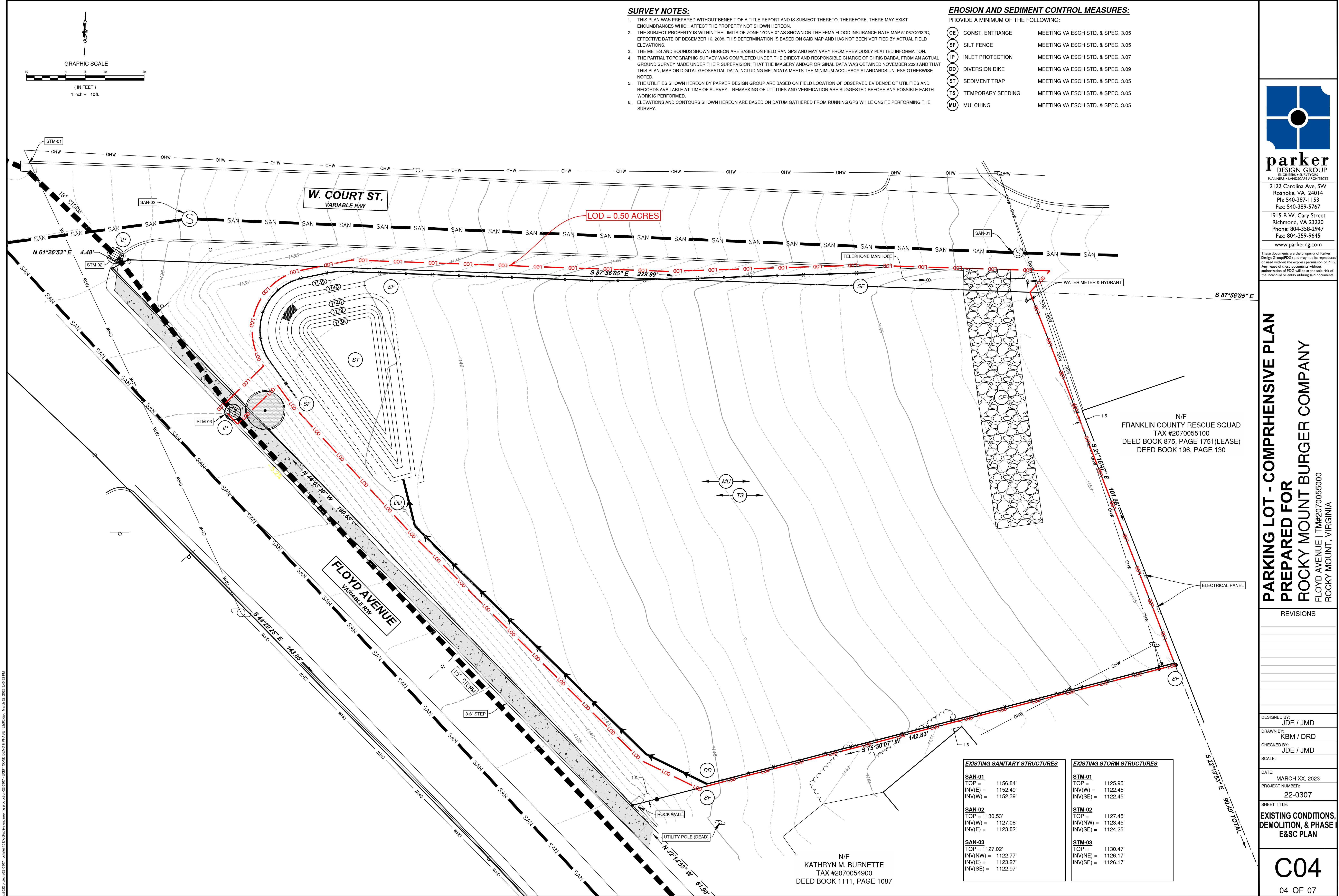
[illegible]

DESIGNED BY:	JDE / JMD
DRAWN BY:	KBM / DRD
CHECKED BY:	JDE / JMD
SCALE:	N/A
DATE:	MARCH XX, 2023
PROJECT NUMBER:	22-0307
SHEET TITLE:	

COVER, NOTES & DETAILS

C01

01 OF 07



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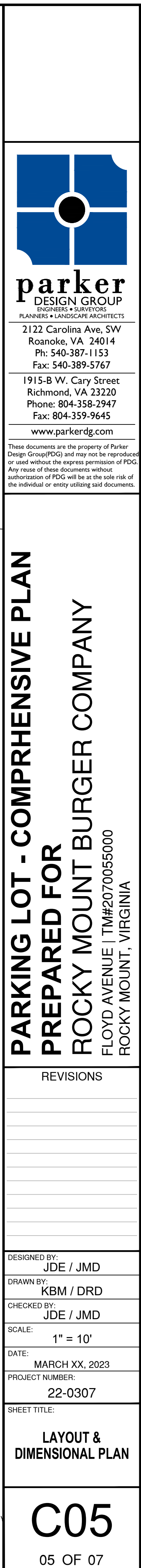
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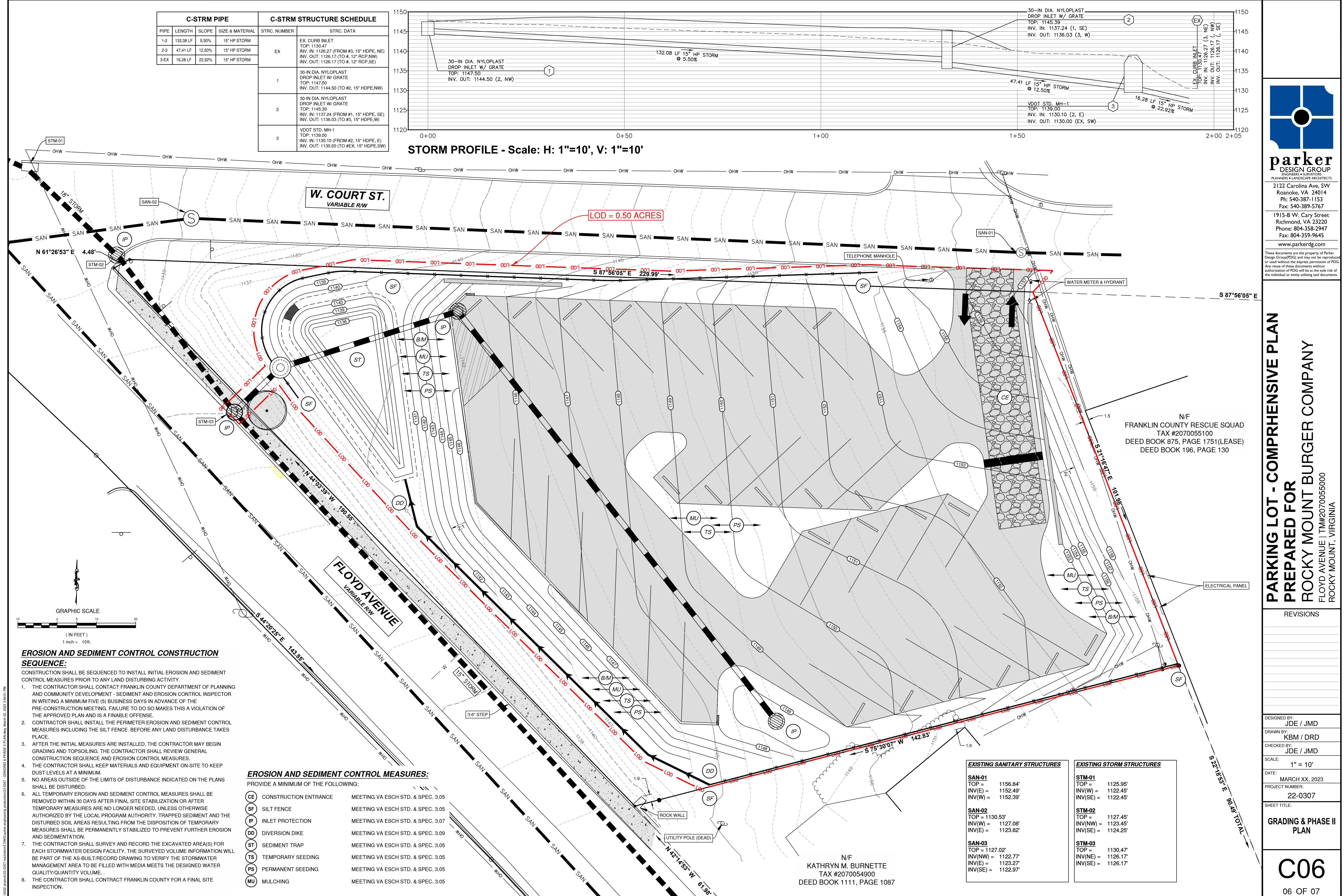
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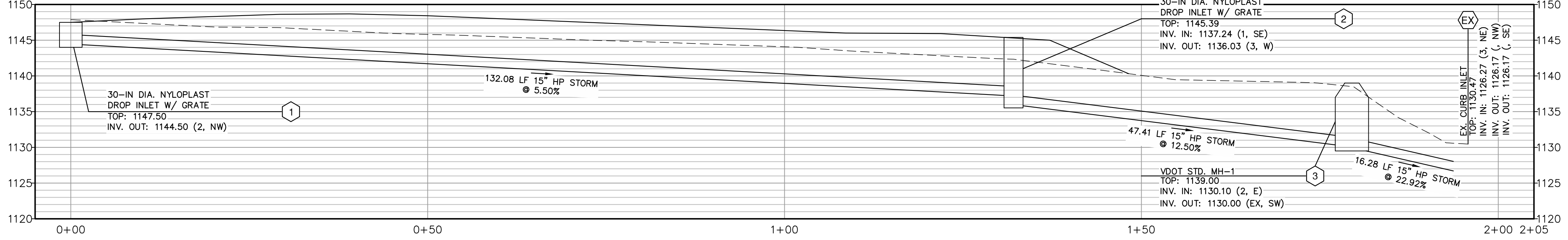
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C-STRM PIPE				C-STRM STRUCTURE SCHEDULE	
PIPE	LENGTH	SLOPE	SIZE & MATERIAL	STRC. NUMBER	STRC. DATA
1-2	132.08 LF	5.50%	15" HP STORM	EX	EX. CURB INLET TOP: 1130.47 INV. IN: 1126.27 (FROM #3, 15" HDPE, NE) INV. OUT: 1126.17 (TO #, 12" RCP, NW) INV. OUT: 1126.17 (TO #, 12" RCP, SE)
2-3	47.41 LF	12.50%	15" HP STORM		
3-EX	16.28 LF	22.92%	15" HP STORM		
				1	30-IN DIA. NYLOPLAST DROP INLET W/ GRATE TOP: 1147.50 INV. OUT: 1144.50 (TO #2, 15" HDPE, NW)
				2	30-IN DIA. NYLOPLAST DROP INLET W/ GRATE TOP: 1145.39 INV. IN: 1137.24 (FROM #1, 15" HDPE, SE) INV. OUT: 1136.03 (TO #3, 15" HDPE, W)
				3	VDOT STD. MH-1 TOP: 1139.00 INV. IN: 1130.10 (FROM #2, 15" HDPE, E) INV. OUT: 1130.00 (TO #EX, 15" HDPE, SW)



STORM PROFILE - Scale: H: 1"=10', V: 1"=10'

EXISTING SANITARY STRUCTURES		EXISTING STORM STRUCTURES	
SAN-01 TOP = 1156.84' INV(E) = 1152.49' INV(W) = 1152.39'		STM-01 TOP = 1125.95' INV(W) = 1122.45' INV(SE) = 1122.45'	
SAN-02 TOP = 1130.53' INV(W) = 1127.08' INV(E) = 1123.82'		STM-02 TOP = 1127.45' INV(NW) = 1123.45' INV(SE) = 1124.25'	
SAN-03 TOP = 1127.02' INV(NW) = 1122.77' INV(E) = 1123.27' INV(SE) = 1122.97'		STM-03 TOP = 1130.47' INV(NE) = 1126.17' INV(SE) = 1126.17'	

- EROSION AND SEDIMENT CONTROL CONSTRUCTION SEQUENCE:**
- CONSTRUCTION SHALL BE SEQUENCED TO INSTALL INITIAL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY LAND DISTURBING ACTIVITY.
1. THE CONTRACTOR SHALL CONTACT FRANKLIN COUNTY DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT - SEDIMENT AND EROSION CONTROL INSPECTOR IN WRITING A MINIMUM FIVE (5) BUSINESS DAYS IN ADVANCE OF THE PRE-CONSTRUCTION MEETING. FAILURE TO DO SO MAKES THIS A VIOLATION OF THE APPROVED PLAN AND IS A FINABLE OFFENSE.
 2. CONTRACTOR SHALL INSTALL THE PERIMETER EROSION AND SEDIMENT CONTROL MEASURES INCLUDING THE SILT FENCE BEFORE ANY LAND DISTURBANCE TAKES PLACE.
 3. AFTER THE INITIAL MEASURES ARE INSTALLED, THE CONTRACTOR MAY BEGIN GRADING AND TOPSOILING. THE CONTRACTOR SHALL REVIEW GENERAL CONSTRUCTION SEQUENCE AND EROSION CONTROL MEASURES.
 4. THE CONTRACTOR SHALL KEEP MATERIALS AND EQUIPMENT ON-SITE TO KEEP DUST LEVELS AT A MINIMUM.
 5. NO AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE INDICATED ON THE PLANS SHALL BE DISTURBED.
 6. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM AUTHORITY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
 7. THE CONTRACTOR SHALL SURVEY AND RECORD THE EXCAVATED AREA(S) FOR EACH STORMWATER DESIGN FACILITY. THE SURVEYED VOLUME INFORMATION WILL BE PART OF THE AS-BUILT/RECORD DRAWING TO VERIFY THE STORMWATER MANAGEMENT AREA TO BE FILLED WITH MEDIA MEETS THE DESIGNED WATER QUALITY/QUANTITY VOLUME.
 8. THE CONTRACTOR SHALL CONTRACT FRANKLIN COUNTY FOR A FINAL SITE INSPECTION.

EROSION AND SEDIMENT CONTROL MEASURES:

PROVIDE A MINIMUM OF THE FOLLOWING:

CE	CONSTRUCTION ENTRANCE	MEETING VA ESCH STD. & SPEC. 3.05
SF	SILT FENCE	MEETING VA ESCH STD. & SPEC. 3.05
IP	INLET PROTECTION	MEETING VA ESCH STD. & SPEC. 3.07
DD	DIVERSION DIKE	MEETING VA ESCH STD. & SPEC. 3.09
ST	SEDIMENT TRAP	MEETING VA ESCH STD. & SPEC. 3.05
TS	TEMPORARY SEEDING	MEETING VA ESCH STD. & SPEC. 3.05
PS	PERMANENT SEEDING	MEETING VA ESCH STD. & SPEC. 3.05
MU	MULCHING	MEETING VA ESCH STD. & SPEC. 3.05

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FLOYD AVENUE / TM#2070055000
ROCKY MOUNT, VIRGINIA

REVISIONS

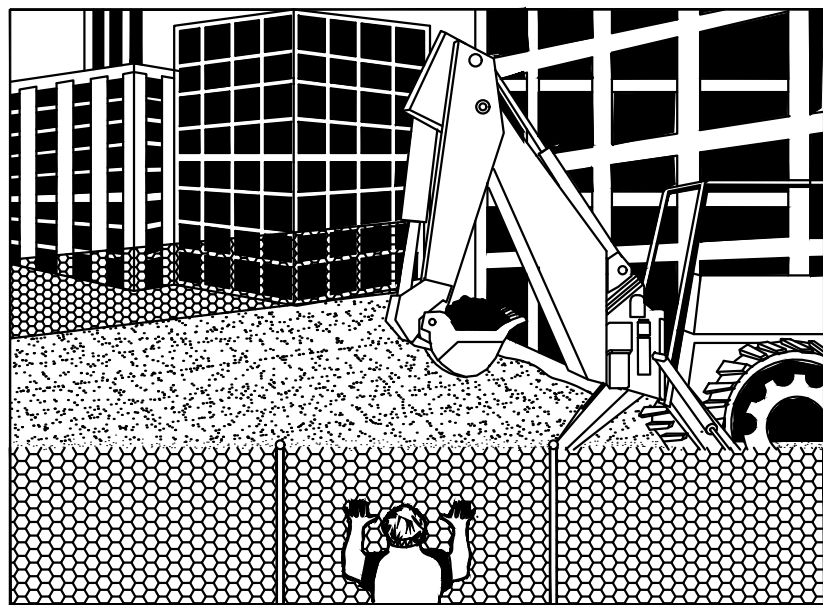
DESIGNED BY: JDE / JMD
DRAWN BY: KBM / DRD
CHECKED BY: JDE / JMD
SCALE: 1" = 10'
DATE: MARCH XX, 2023
PROJECT NUMBER: 22-0307
SHEET TITLE:

GRADING & PHASE II PLAN

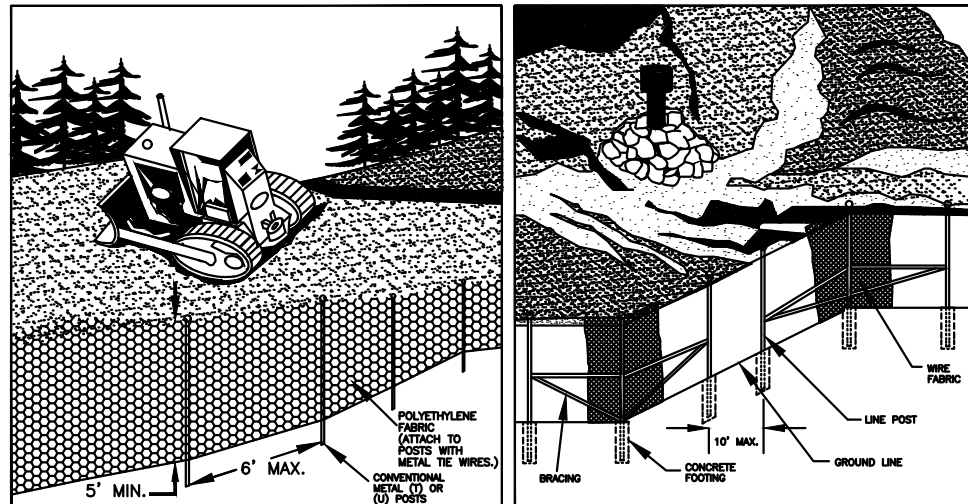
C06
06 OF 07

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SAFETY FENCE



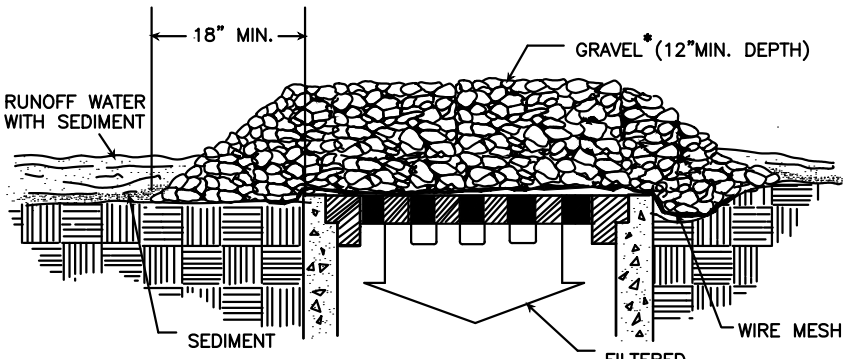
PERSPECTIVE VIEW



PERSPECTIVE VIEW
PLASTIC FENCE

PERSPECTIVE VIEW
METAL FENCE

GRAVEL AND WIRE MESH DROP INLET SEDIMENT FILTER

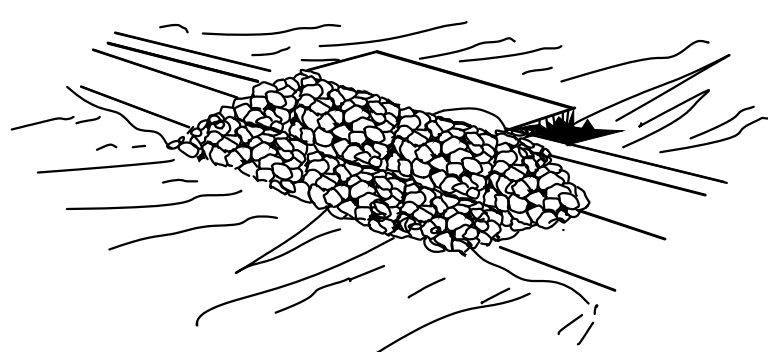


SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.

* GRAVEL SHALL BE VDOT #3, #357 OR #5 COARSE AGGREGATE.

GRAVEL CURB INLET SEDIMENT FILTER

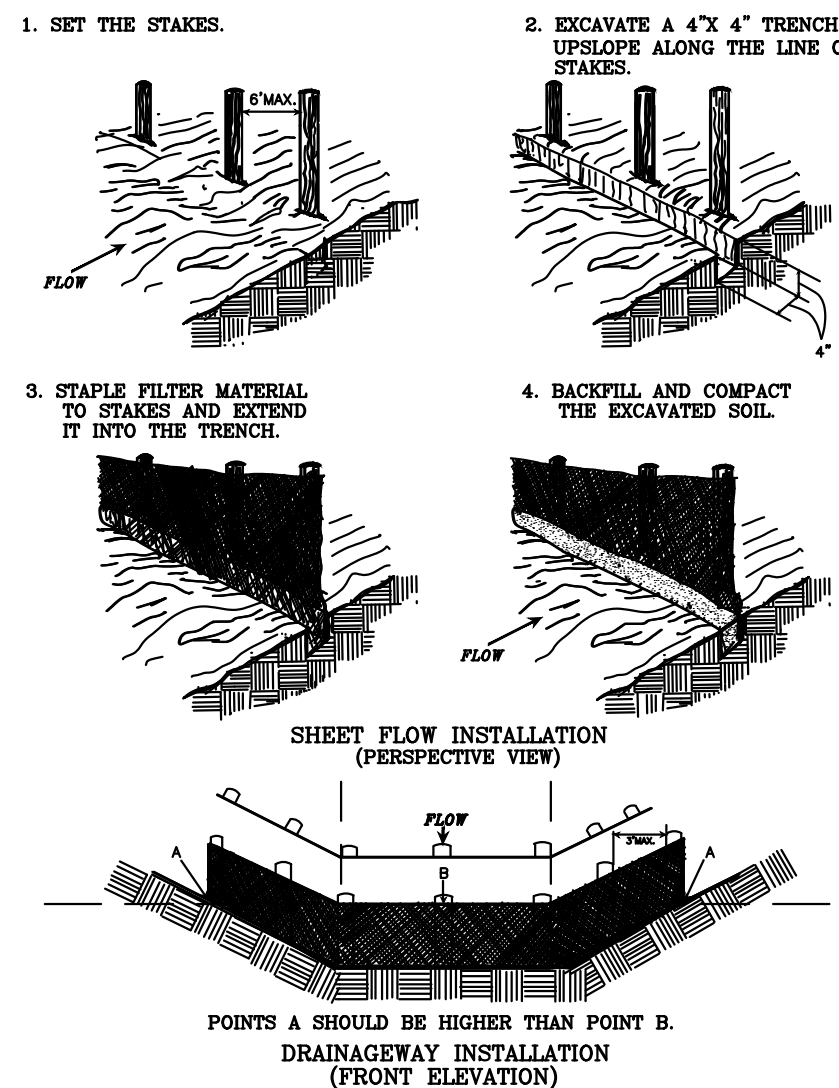


SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLETS WHERE PONDING IN FRONT OF THE STRUCTURE IS NOT LIKELY TO CAUSE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.

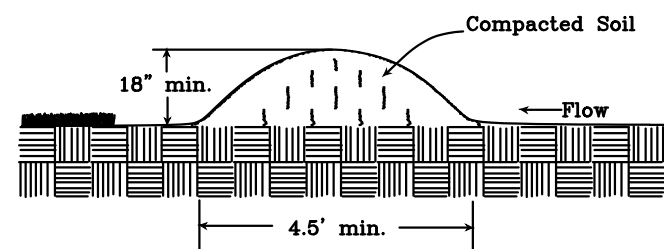
* GRAVEL SHALL BE VDOT #3, #357 OR 5 COARSE AGGREGATE.

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)



POINTS A SHOULD BE HIGHER THAN POINT B.
DRAINAGEWAY INSTALLATION
(FRONT ELEVATION)

TEMPORARY DIVERSION DIKE



MINIMUM TOP WIDTH (W) REQUIRED FOR SEDIMENT TRAP EMBANKMENTS ACCORDING TO HEIGHT OF EMBANKMENT (FEET)

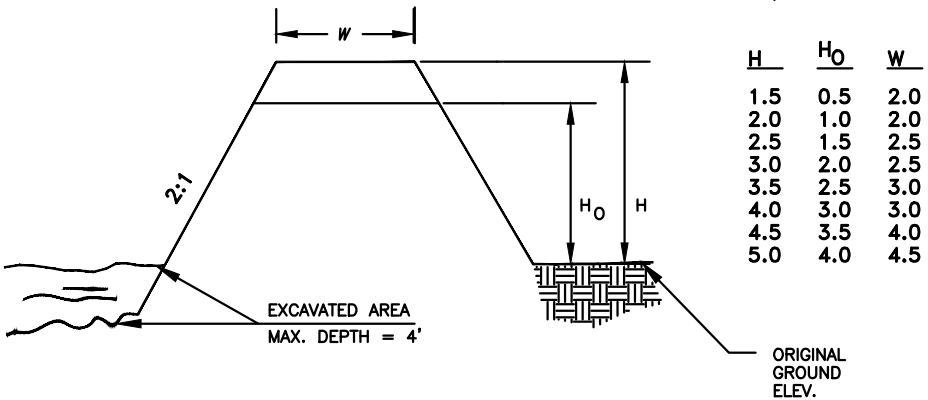


TABLE 3.30-A TOPSOIL REQUIRED FOR APPLICATION TO VARIOUS DEPTHS		
Depth (inches)	Per 1,000 Square Feet (cubic yards)	Per Acre (cubic yards)
1	3.1	134
2	6.2	268
3	9.3	403
4	12.4	537
5	15.5	672
6	18.6	806

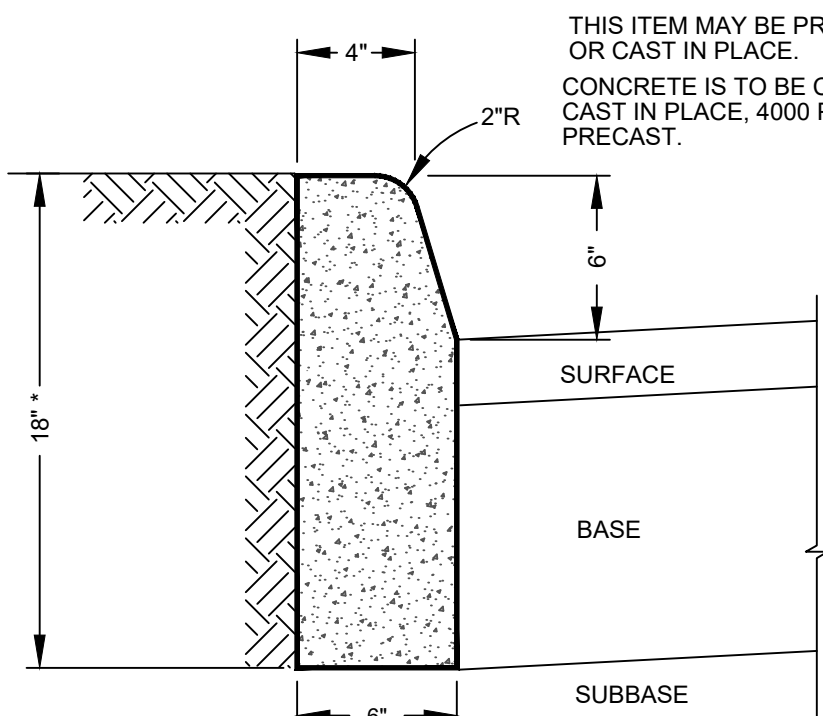
TABLE 3.35-A ORGANIC MULCH MATERIALS AND APPLICATION RATES		
MULCHES:	RATES:	
	Per Acre	Per 1000 sq. ft.
Straw or Hay	1.5 - 2 tons (Min. 2 tons for winter cover)	70 - 90 lbs.
Fiber Mulch	Min. 1500 lbs.	35 lbs.
Corn Stalks	4 - 6 tons	185 - 275 lbs.
Wood Chips	4 - 6 tons	185 - 275 lbs.
Bark Chips or Shredded Bark	50 - 70 cu. yds.	1-2 cu. yds.

*When fiber mulch is the only available mulch during periods when straw should be used, apply at a minimum rate of 2000 lbs./ac. or 45 lbs./1000 sq. ft.

TABLE 3.32-C (Revised June 2003) PERMANENT SEEDING SPECIFICATIONS APPALACHIAN/MOUNTAIN REGION		
LAND USE	SPECIES	APPLICATION PER ACRE
Minimum Care Lawn (Commercial or Residential)	Tall Fescue ¹ Perennial Ryegrass ² Kentucky Bluegrass ³	90-100% 0-10% 0-10% TOTAL: 200-250 lbs.
High-Maintenance Lawn	Minimum of three (3) up to five (5) varieties of Kentucky Bluegrass from approved list for use in Virginia ¹ Tall Fescue ¹	TOTAL: 125 lbs. 128 lbs. 2 lbs.
General Slope (3:1 or less)	Red Top Grass or Creeping Red Fescue Seasonal Nurse Crop ³	20 lbs. TOTAL: 150 lbs.
Low-Maintenance Slope (Steeper than 3:1)	Tall Fescue ¹ Red Top Grass or Creeping Red Fescue Seasonal Nurse Crop ³ Crownvetch ⁴	108 lbs. 2 lbs. 20 lbs. 20 lbs. TOTAL: 150 lbs.
1 - When selecting varieties of turfgrass, use the Virginia Crop Improvement Association (VCA) recommended turfgrass variety list. Quality seed will bear a label indicating that they are approved by VCA. A current turfgrass variety list is available at the local County Extension office or through VCA at 804-748-4884. 2 - Perennial Ryegrass will germinate faster and at lower soil temperatures than Tall Fescues, thereby providing cover and erosion resistance for seedbed. 3 - Use seasonal nurse crop in accordance with seeding dates as stated below March, April - May 15th Annual Rye May 16th - August 15th Foxtail Millet August 16th - September, October Annual Rye November - February Winter Rye 4 - All legume seed must be properly inoculated. If Flatpea is used, increase to 30 lbs./acre. If Weeping Lovegrass is used, include any slope or low maintenance mixture during warmer seeding periods, increase to 30-40 lbs./acre.		
FERTILIZER & LIME		
Apply 10-20-10 fertilizer at a rate of 500 lbs. / acre (or 12 lbs. / 1,000 sq. ft.) Apply Pulverized Agricultural Limestone at a rate of 2 tons/acre (or 90 lbs. / 1,000 sq. ft.)		
NOTE: 1. A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of the site. 2. Incorporate the lime and fertilizer into the top 4 - 6 inches of the soil by disking or other means. 3. When applying Slowly Available Nitrogen, use rates available in Erosion & Sediment Control Technical Bulletin #4, 2003 Nutrient Management for Development Sites.		

GRAVEL ACCESS ROAD SECTION

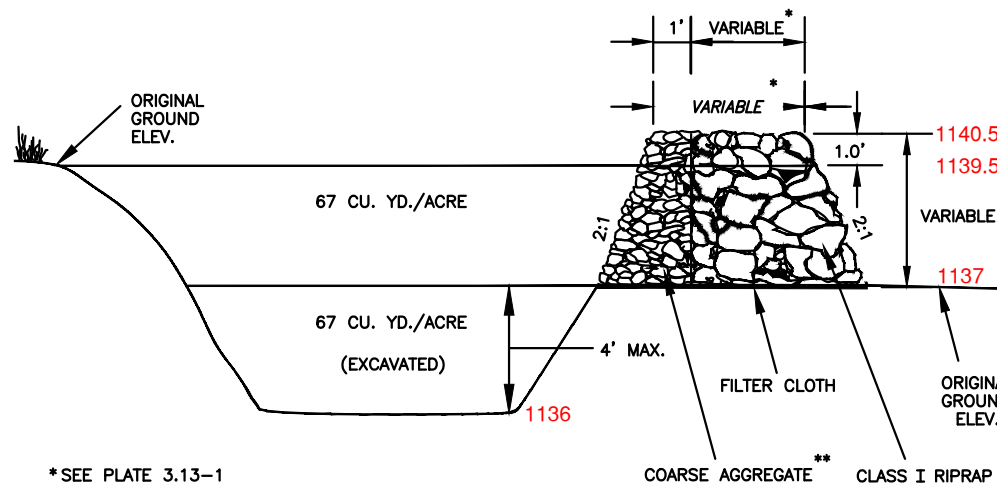
(NOT TO SCALE)
NOTE: PAVEMENT SECTION TO BE VERIFIED BY SOIL TESTING PRIOR TO CONSTRUCTION. ALTERNATE IS HEAVY DUTY PAVEMENT SECTION. CONFIRM SECTION WITH GEOTECHNICAL ENGINEER.



* THE DEPTH OF CURB MAY BE REDUCED AS MUCH AS 3" (15" DEPTH) OR INCREASED AS MUCH AS 3" (21" DEPTH) IN ORDER THAT THE BOTTOM OF CURB WILL COINCIDE WITH THE TOP OF A COURSE OF THE PAVEMENT SUBSTRUCTURE. OTHERWISE THE DEPTH IS TO BE 18" AS SHOWN.

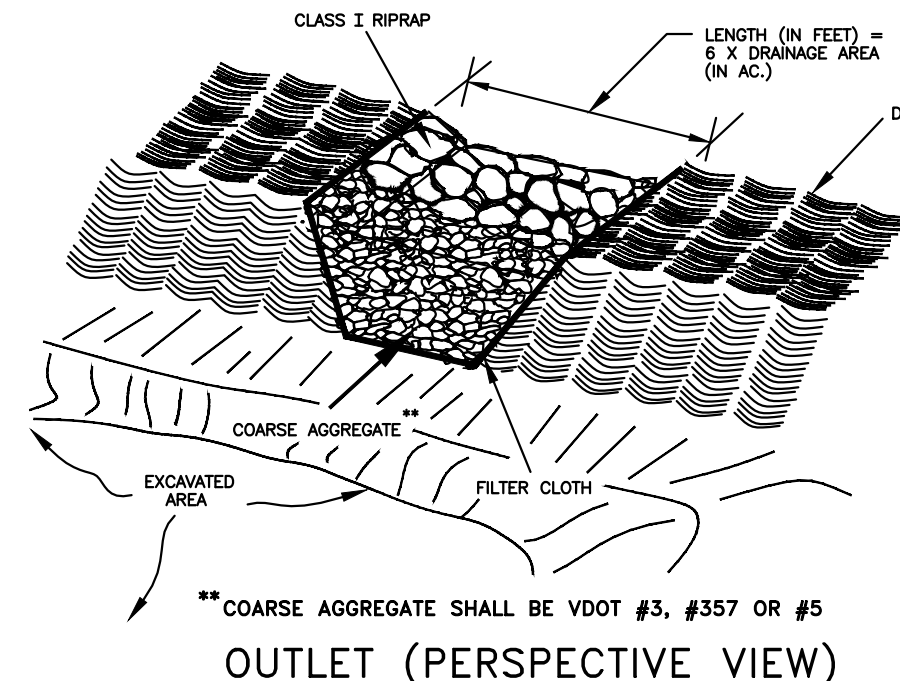
STANDARD CG-2
NOT TO SCALE

TEMPORARY SEDIMENT TRAP



* SEE PLATE 3.13-1

CROSS SECTION OF OUTLET

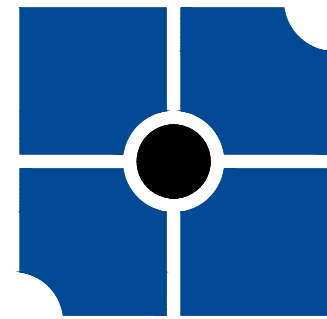


**COARSE AGGREGATE SHALL BE VDOT #3, #357 OR #5

OUTLET (PERSPECTIVE VIEW)

TABLE 3.31-B (Revised June 2003) TEMPORARY SEEDING SPECIFICATIONS QUICK REFERENCE FOR ALL REGIONS		
APPLICATION DATES	SPECIES	APPLICATION RATES
Sept. 1 - Feb. 15	50/50 Mx of Annual Ryegrass (lolium multi-florum) & Cereal (Winter) Rye (Secale cereale)	50 - 100 lbs/acre
Feb. 16 - Apr. 30	Annual Ryegrass (lolium multi-florum)	60 - 100 lbs/acre
May 1 - Aug. 31	German Millet	50 lbs/acre
FERTILIZER & LIME		
Apply 10-10-10 fertilizer at a rate of 450 lbs. / acre (or 10 lbs. / 1,000 sq. ft.) Apply Pulverized Agricultural Limestone at a rate of 2 tons/acre (or 90 lbs. / 1,000 sq. ft.)		
NOTE: 1. A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of the site. 2. Incorporate the lime and fertilizer into the top 4 - 6 inches of the soil by disking or other means. 3. When applying Slowly Available Nitrogen, use rates available in Erosion & Sediment Control Technical Bulletin #4, 2003 Nutrient Management for Development Sites.		

TABLE 3.39-A ADHESIVES USED FOR DUST CONTROL			
Adhesive	Water Dilution (Adhesive:Water)	Nozzle Type	Application Rate (Gallons per Acre)
Anionic Asphalt Emulsion	7:1	Coarse Spray	1,200
Latex Emulsion	12.5:1	Fine Spray	235
Resin in Water	4:1	Fine Spray	300
Acrylic Emulsion (Non-Traffic)	7:1	Coarse Spray	450
Acrylic Emulsion (Traffic)	3.5:1	Coarse Spray	350



parker
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PARKING LOT - COMPREHENSIVE PLAN

PREPARED FOR

ROCKY MOUNT BURGER COMPANY

FLOYD AVENUE / TM#2070055000
ROCKY MOUNT, VIRGINIA

REVISIONS

DESIGNED BY: JDE / JMD

DRAWN BY: KBM / DRD

CHECKED BY: JDE / JMD

SCALE: N/A

DATE: MARCH XX, 2023

PROJECT NUMBER: 22-0307

SHEET TITLE:

SITE & E&SC DETAILS

C07



Town of Rocky Mount SPECIAL ZONING APPLICATION

☐ REZONING REQUEST ☐ SPECIAL EXCEPTION/USE ☒ VARIANCE

\$350.00 Variance Fee
\$ 58.73 Postage
\$408.73 Paid 11/09/22

Date Received:	11/09/22
Received by:	<i>[Signature]</i>
PC/EA Date:	12/01/2022

PRE-FILING CONSULTATION WITH THE TOWN PLANNING STAFF TO REVIEW THE PROPOSED REQUEST AND TO OBTAIN RECOMMENDED PROCEDURES AND TECHNICAL ASSISTANCE IS REQUIRED. TO SCHEDULE A PRE-FILING CONSULTATION, PLEASE CONTACT THE TOWN OF ROCKY MOUNT COMMUNITY DEVELOPMENT DEPARTMENT AT 540-483-0907.

APPLICANT NAME: Floyd Ave Developers LLC

ADDRESS: 467 Franklin Street

PHONE: ~~XXXXXXXXXX~~ EMAIL: ~~XXXXXXXXXXXXXXXXXXXX~~

PROPERTY OWNERS NAME & ADDRESS:
(IF DIFFERENT FROM APPLICANT) _____

TAX MAP & PARCEL NUMBER: 2070055000 LOT SIZE (ACRES/SQ.FT.) _____

CURRENT ZONING: ☐ R-1 ☐ R-2 ☐ R-3 ☐ RA ☐ RB ☐ RPUD ☐ POS ☐ C-1 ☐ C-2 ☐ M-1 ☐ M-2 ☒ CBD ☐ CBD-ARTS & CULTURE ☐ GB

CURRENT LAND USE: ☐ VACANT ☐ AGRICULTURAL ☐ RESIDENTIAL ☐ COMMERCIAL ☐ INDUSTRIAL

- ☐ REZONING REQUEST: PROPOSED ZONING: _____ PROPOSED LAND USE: _____
- ☐ SPECIAL EXCEPTION/USE REQUEST OF SECTION(S) _____ OF THE TOWN ZONING ORDINANCE.
- ☒ VARIANCE REQUEST OF SECTION(S) 7-2-7 OF THE TOWN ZONING ORDINANCE.

NATURE OF REQUEST - BRIEFLY DESCRIBE THE PROPOSED PROJECT AND SPECIFIC DEVIATION REQUEST FROM THE ZONING ORDINANCE.

The applicant requests a variance of Article 7-2-7 of the Zoning Ordinance which requires all non-residential driveways and parking spaces to be paved with asphalt, concrete, plant mix or brick. The applicant wishes to construct a gravel parking lot on the corner of Floyd and West Court Street to serve as additional parking for downtown Rocky Mount.

I HEARBY CERTIFY THAT I AM ACTING WITH THE KNOWLEDGE AND CONSENT OF THE PROPERTY OWNER TO THE REQUEST DESCRIBED ON THE APPLICATION. BY SIGNING BELOW, I AGREE THE INFORMATION PROVIDED ON THE APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE.

Bryan Hochstet
APPLICANT SIGNATURE

11/9/22
DATE

BY SIGNING BELOW, I CERTIFY I AM AWARE OF THE REQUEST SUBMITTED AND THE INFORMATION PROVIDED IS TRUE TO THE BEST OF MY KNOWLEDGE.

Bryan Hochstet
OWNER SIGNATURE

11/9/22
DATE



To: Members of the Rocky Mount Board of Zoning Appeals

From: Jessica H. Heckman, Planning & Zoning Administrator

Date: April 27, 2023

Re: Variance Request pending before Board of Zoning Appeals

BOARD OF ZONING APPEALS STAFF REPORT

PETITIONER: Floyd Ave Developers LLC

HEARING DATE: May 4, 2023

PROPERTY ZONING: CBD- Central Business District

TAX PARCEL: 2070055000 – Parcel on the corner of West Court and Floyd Avenue, Rocky Mount, Virginia

APPLICABLE REGULATIONS:

7-2-7. All non-residential driveways and parking spaces are to be paved with asphalt, concrete, plant mix, or brick.

REQUEST: A variance of Article 7-2-7 of the Town of Rocky Mount Zoning Ordinance to which requires all non-residential driveways and parking spaces to be paved with asphalt, concrete, plant mix or brick.

I. BACKGROUND:

In accordance with Article 11 of the Zoning & Development Ordinance of the Town of Rocky Mount and §15.2-2201 of the Code of Virginia, the applicant, Floyd Ave Developers LLC has applied for a variance for Franklin County Tax Map and Parcel Number 2070055000, a parcel located on the corner of West Court and Floyd Avenue in Rocky Mount, Virginia. The applicant seeks a variance of Article 7-2-7 of the Town of Rocky Mount Zoning Ordinance which requires all non-residential driveways and parking spaces to be paved with asphalt, concrete, plant mix or brick. If approved, the applicant intends to develop a gravel parking lot to provide free parking to the Rocky Mount Burger Company patrons and provide paid parking for the downtown area. A parking lot (located behind buildings or screened from the road) is a use by right in the Central Business District, however, the ordinance requires the lot be paved with asphalt, concrete, plant mix or brick. This application has been advertised in the Franklin News-Post as required by law, adjacent and adjoining property owners were notified via mail, and the public hearing notice sign has been posted on the site.



II. VARIANCE CRITERIA:

FINDINGS TO GRANT A VARIANCE (must meet all)

The strict application of the ordinance would unreasonably restrict the utilization of the property or that the granting of the variance would alleviate a hardship due to a physical condition relating to the property or improvements thereon at the time of the effective date of the ordinance, and

- (1) **The property interest for which the variance is being requested was acquired in good faith and any hardship was not created by the applicant for the variance;** The property does appear to have been acquired in good faith, and the request is not intended to correct an existing variance.
- (2) **The granting of the variance will not be of substantial detriment to adjacent property and nearby properties in the proximity of that geographical area;** The requirement of paved parking in the Central Business District is to maintain the character of a downtown, prevent dust, gravel in the streets, runoff etc. Staff's determination is that a gravel lot could negatively impact neighboring properties and the district.
- (3) **The condition or situation of the property concerned is not of so general or recurring a nature as to make reasonably practicable the formulation of a general regulation to be adopted as an amendment to the ordinance;** Prudent planning practice dictates that a variance application process such as the one before you is the best method for handling similar requests.
- (4) **The granting of the variance does not result in a use that is not otherwise permitted on such property or a change in the zoning classification of the property; and** It does not.
- (5) **The relief or remedy sought by the variance application is not available through a special exception process or the process for modification of a zoning ordinance at the time of the filing of the variance application.** It is not.

III. SUMMARY

Staff has reviewed the application and while it does lower the cost to the developer, that does not meet criteria for hardship, nor were we able to identify any obvious hardship that unreasonably restricts the use of the property. When considering the variance, staff recommends members take the following potential impacts into account:

1. The aesthetic of a gravel lot in a downtown commercial area
2. The maintenance requirements of a gravel lot; snow removal is more difficult, rain can cause rutting and pot holes etc.



3. Gravel parking lots are susceptible to erosion which typically results in gravel, soil etc. ending up in ditches & streets.

Staff is supportive of additional parking in downtown, however we were not able to find that it met the requirement of a variance as indicated above. The board must review the findings required to grant a variance, consider public comment, and determine if granting the variance would be appropriate.

POSSIBLE MOTIONS:

Approval

I move that the Board approves the variance request for Tax Map ID No 2070055000 (on the following grounds, if needed):_____

Conditional Approval

I move that the Board approves the variance request for Tax Map ID No 2070055000, with the following conditions:_____

Denial

I move that the Board denies the variance request for Tax Map ID No 2070055000 (on the following grounds, if needed)_____